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**MONTGOMERY COUNTY
PLANNING COMMISSION**

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JODY L. HOLTON, AICP
EXECUTIVE DIRECTOR

March 19, 2018

Mr. Christopher Leswing, Director of Building & Planning
Building & Planning Department
Township of Lower Merion
75 East Lancaster Avenue
Ardmore, PA 19003

Re: MCPC #18-0046-001
Plan Name: 400 & 408 Woodbine Avenue
(2 lots on approximately 1.37 acres)
Situate: Woodbine Avenue (W); Brookhurst Avenue (N)
Township of Lower Merion

Dear Mr. Leswing:

We have reviewed the above-referenced lot line change in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on February 28, 2018. We forward this letter as a report of our review.

BACKGROUND

The applicant proposes a lot line change to transfer 319.5 square feet of land from 400 S. Woodbine Avenue to 408 S. Woodbine Avenue and transfer an equivalent land area from 408 S. Woodbine Avenue to 400 S. Woodbine Avenue. An existing turn-around driveway along S. Woodbine Avenue, stone wall, path, and steps are proposed to be removed from 400 S. Woodbine Avenue. Also proposed is the demolition of a 512 square foot addition on the southern side of the existing home at 400 S. Woodbine Avenue and the construction of a 650 square foot addition in its place. The properties are located in the Township's R2 Residence zoning district.



RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal without comment as we have not identified any significant issues.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposed lot line change without comment as we have not identified any significant issues.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Sincerely,

A handwritten signature in black ink that reads "Marley Bice". The signature is written in a cursive, flowing style.

Marley Bice, AICP, Principal Planner
610-278-3740 – mbice@montcopa.org

c: Todd Joseph, Applicant
Ambric Technology Corporation, Applicant's Engineer
Gilbert P. High, Jr., Esq., Twp. Solicitor
Ernie B. McNeely, Twp. Manager
Edward P. Pluciennik, P.E., Twp. Engineer

Attachment A: Reduced Copy of Applicant's Site Plan
Attachment B: Aerial Image of Site



400 & 408 South Woodbine Avenue
180046001

Montgomery
County
Planning
Commission

Montgomery County Courthouse - Planning Commission
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Year 2015 aerial photography provided by the
Delaware Valley Regional Planning Commission

0 50 100 200 Feet

